

CLIENT



PROJECT NAME

7-15 CHURCH STREET

ADDRESS

7-15 Church Street, Hampstead, Ashburton, 7700

LANDSCAPE DESIGN PACKAGE

RESOURCE CONSENT

19.09.23

PREPARED BY



Te Uruti Building, 48 Hereford St, PO Box 2833, Christchurch 8140  
Mountaineer Building, 32 Rees St, Queenstown 9300  
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SITE LOCATION PLAN



REFERENCE NO.

5252\_V\_68

SHEET NO.	SHEET TITLE	SHEET SUBTITLE	REV
RC-LD-1001	LANDSCAPE MASTERPLAN	SITE WIDE	A
RC-LD-1002	LANDSCAPE PLAN	HOUSE 1 - 5	A
RC-LD-1003	LANDSCAPE PLAN	HOUSE 6 - 12	A
RC-LD-1301	FENCING PLAN	HOUSE 1 - 5	A
RC-LD-1302	FENCING PLAN	HOUSE 6 - 12	A
RC-LD-1701	SPECIMEN TREE & PLANTING PALETTE	HOUSE 1 - 5	A
RC-LD-1702	SPECIMEN TREE & PLANTING PALETTE	HOUSE 6 - 12	A

LANDSCAPE AREA

Landscape 1662m2  
(including lawn, garden bed / shrubs & specimen trees) (41%)

Lawn only 566m2  
(34% of total landscape area)

Trees and shrubs only 1096m2  
(66% of total landscape area)



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LANDSCAPE MASTERPLAN  
SITE WIDE

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LEGEND

- Property boundary
- Existing tree to be removed
- Proposed specimen tree
- Proposed fruit tree
- Proposed garden bed
- Lawn
- Existing Easement to remain
- Standard concrete, broom finish (U5), saw cuts as shown
- Exposed aggregate concrete with black oxide additive (8kg/m3), saw cuts as shown
- 200L x 100W Precast concrete paver threshold (ex. Firth Holland 80°, colour black sands). To be laid in a herringbone pattern
- 200 X 100mm L Precast concrete paver band (ex. Firth Holland 80°, colour black sands)
- No parking zone
- Austral 'Compact 39' fold down washing line (or similar approved)
- Austral 'Compact' fold down washing line (or similar approved)
- Medium Garden Master Shed/ bike storage (1530W x 1080D x 1830Hmm), 'Grey Friars' colour
- Bin storage area
- Heat pump unit on concrete pad (by Architects)
- Single letterbox on post
- Letterbox bank
- Visibility splay - all fencing and planting to be max. 1.0m high in visibility splay
- Gate access - 0.95m wide - gate to match adjacent fencing
- Suburban Timber Wheelstop (ex. Street Furniture)
- Step location (by Architects)
- 2 x Step risers
- Ramp and handrails (by Architects)

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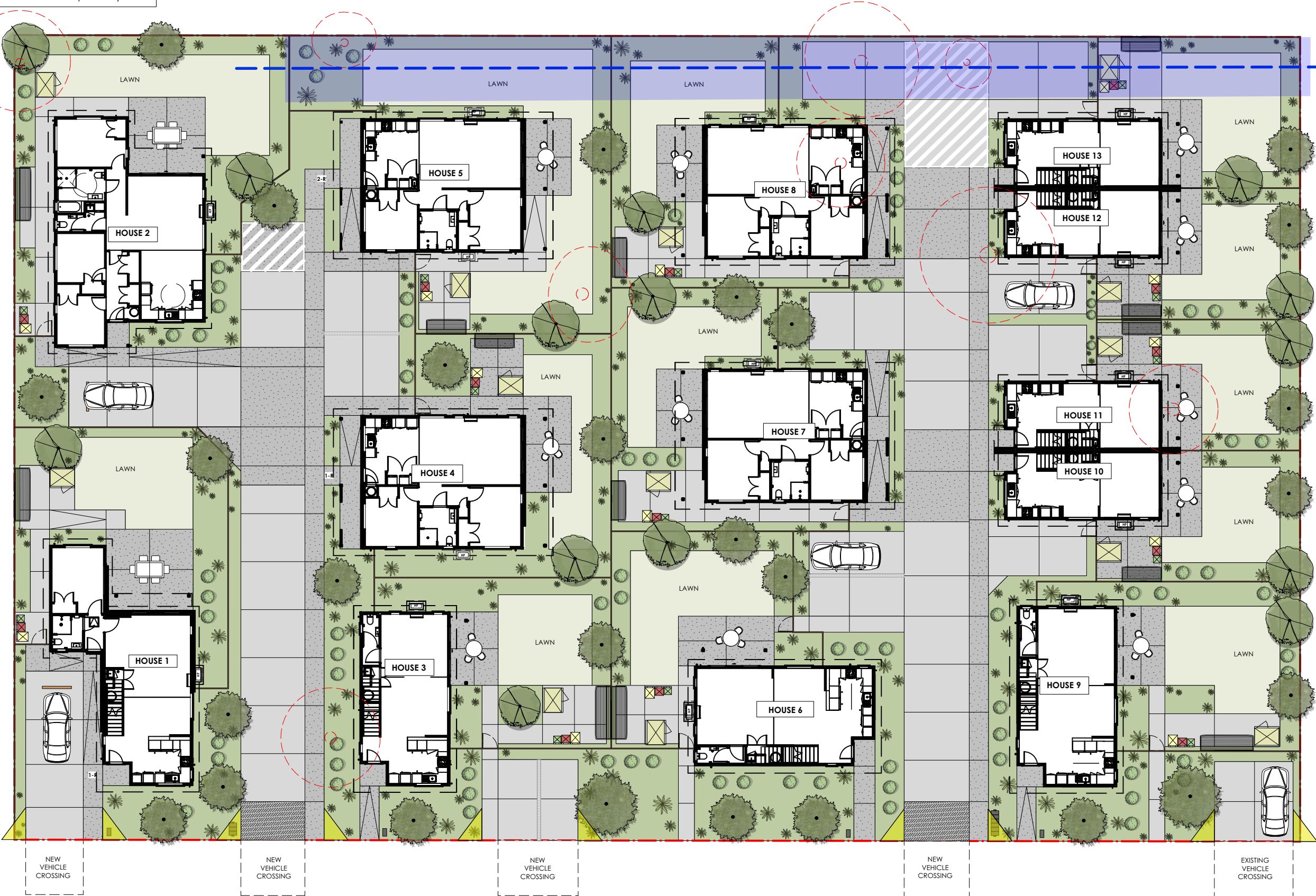
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REF. NO.  
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PAGE REVISION  
RC-LD-1001  
A



APPROVAL STAMP

CHURCH ST





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LANDSCAPE PLAN  
HOUSE 1 - 5

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PAGE  
REVISION A

Lines to be applied to the concrete finish for no parking purposes. To be painted with slip resistant paint and will be applied by an approved line marking company.

All paths to be 1.2m wide minimum for UD units, Exposed aggregate concrete with black oxide additive saw cuts as shown(refer to civil documentation for depth and construction details).

Medium Garden Master Shed/bike storage (1530W x 1080D x 1830Hmm), 'Grey Friars' colour.

Bin storage area

Suburban Timber Wheelstop (ex. Street Furniture)

Carpark to be insitu standard concrete broom finish and saw cuts as shown (refer to civil documentation)

1 x 'Urban' Letterbox (ex. Box Design), colour black, lockable, front door access, adhesive street/unit numbers, mounted on a 0.8m high 'Letterbox Pole', colour black (ex. Box Design). Total installed letterbox height 1m.

3 x 'Urban' Letterbox (ex. Box Design), colour black, lockable, front door access, adhesive street/unit numbers, mounted on 2 x custom posts either end of bank.Total letterbox bank height 1m.

Visibility splay, all fencing and planting to be max. 1.0m high in visibility splay.

200L x 100W Precast concrete paver band (ex. Firth Holland 50°, colour black sands). To be laid in a herringbone pattern at 45 degree to the direction of traffic movement. Install as per manufacturer's specification.

Proposed specimen trees

200L x 100W Precast concrete paver band (ex. Firth Holland 80°, colour black sands). To be laid in a herringbone pattern at 45 degree to the direction of traffic movement. Install as per manufacturer's specification.

Existing trees to be removed ( red dashed line )

Proposed fruit trees

Austral 'Compact' fold down washing line (or similar approved)

Patio exposed aggregate with black oxide additive and saw cuts as shown

REFER SHEET BC-LD-1003

Austral 'Compact 39' fold down washing line (or similar approved).

Refer to Architectural and Civil documentation for vehicle crossing extent.

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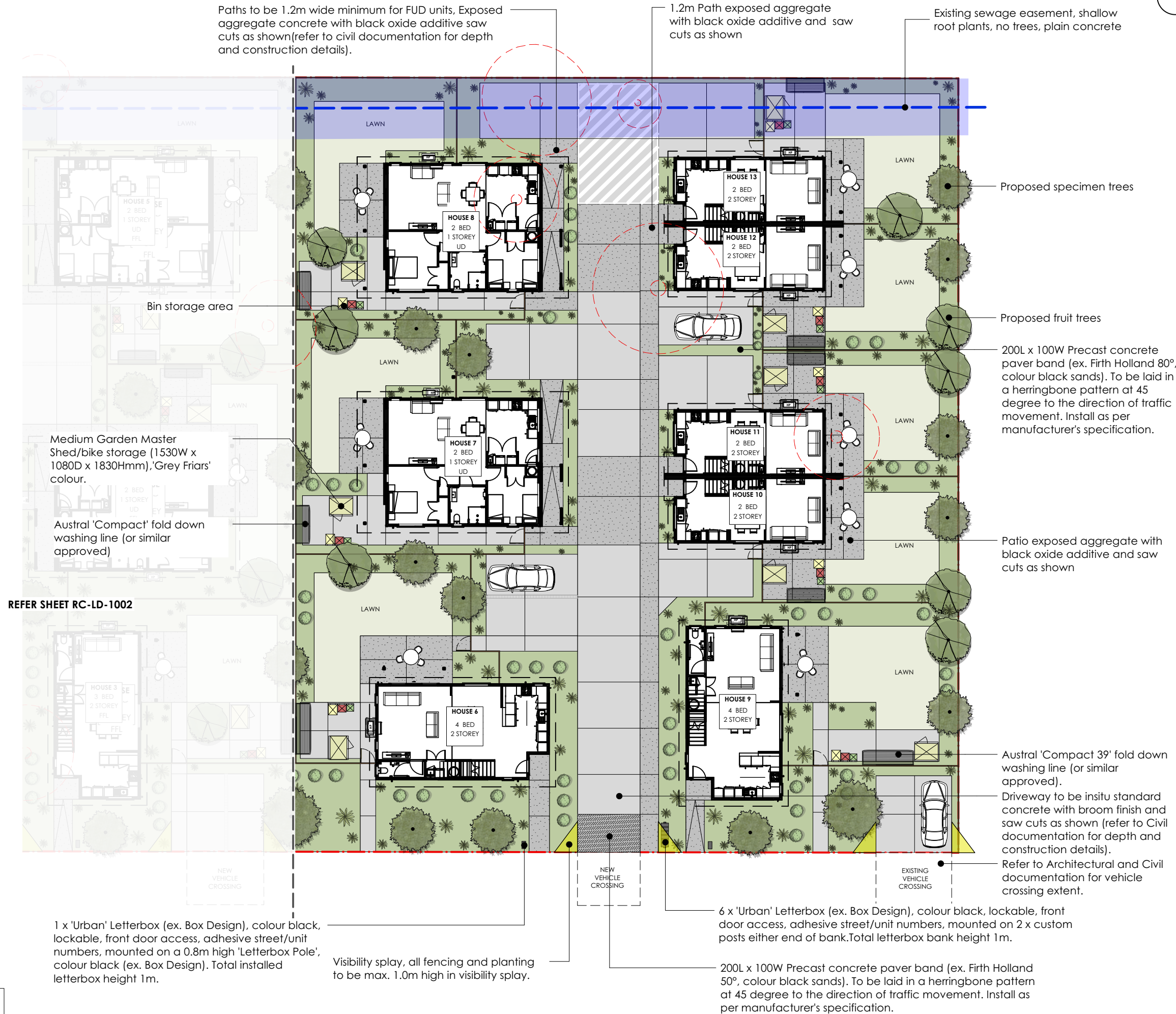
## NOTES

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A	19.09.23	AZ	RESOURCE CONSENT





FENCING LEGEND

T1



1.0m high timber paling fence \*

T2

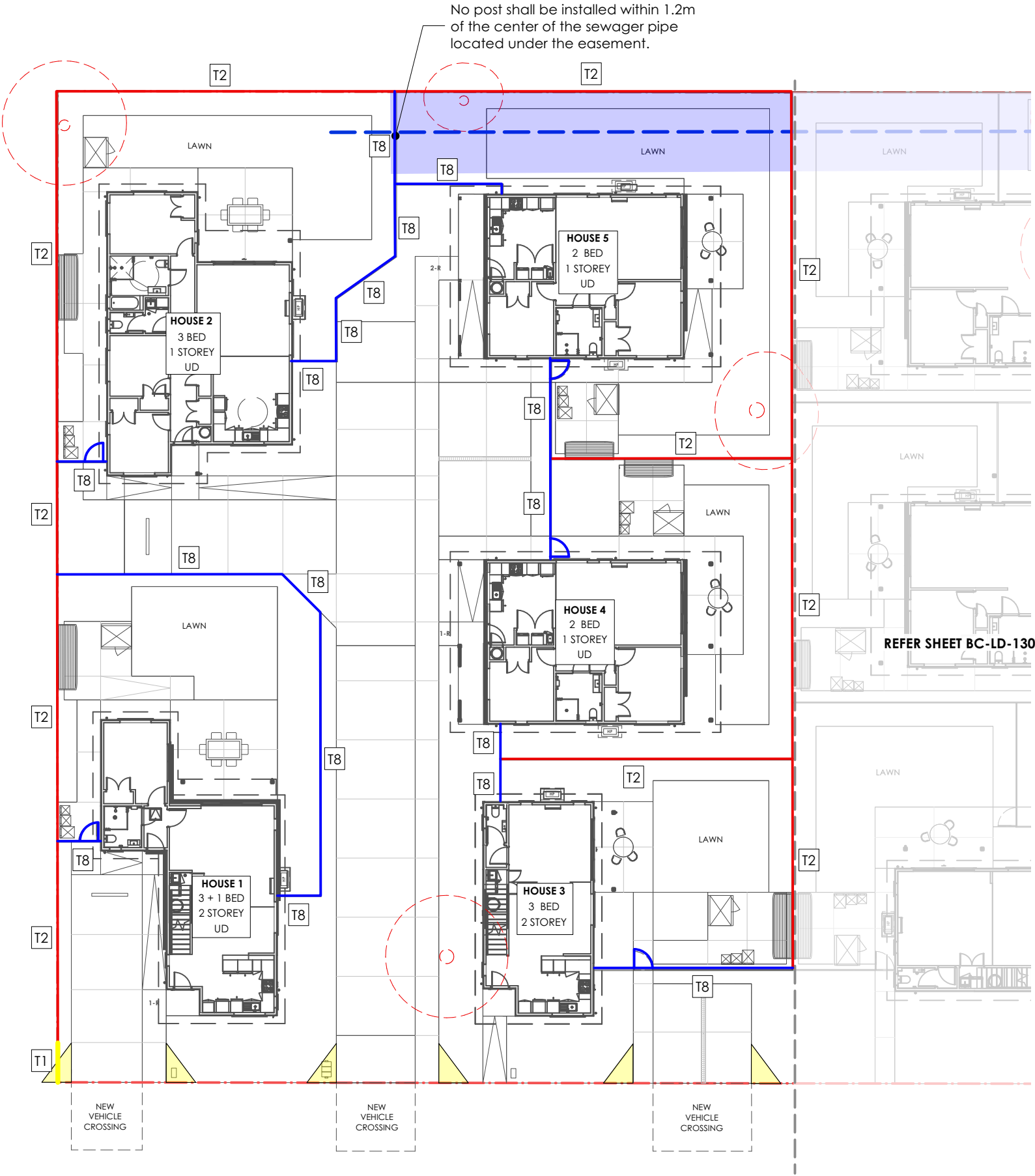


1.8m High timber paling fence \*

T8



1.8m High timber board and batten fence with capping. Battens to face the street/JOAL\*



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FENCING PLAN

HOUSE 1 - 5

RESOURCE CONSENT

NOTES

1. Confirm set out of all dimensions on site prior to commencing work.
2. Do not scale off drawings.
3. All gates to match adjacent fencing type, unless specified otherwise.
4. All gates for standard housing units to be 0.95m wide.
5. All gates for UD and accessible units to have a low latch and self-closing hinges.
6. \*Allow to stain all exposed visible surface of timber paling fencing facing the street/JOAL or as indicated on fencing plan. Apply 2 coats charcoal timber stain, colour Resene 'Shadow Match' or similar approved by Landscape Architect.
7. Prior to excavating fencing post holes, confirm on site there are no clashes with underground services. Notify the Landscape Architect if any clashes are likely to occur.
8. A 3 months Defects Liability Period shall be included for all Hard Landscaping.

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PAGE REVISION RC-LD-1301  
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CHURCH ST

FENCING LEGEND



1.0m high timber paling fence \*



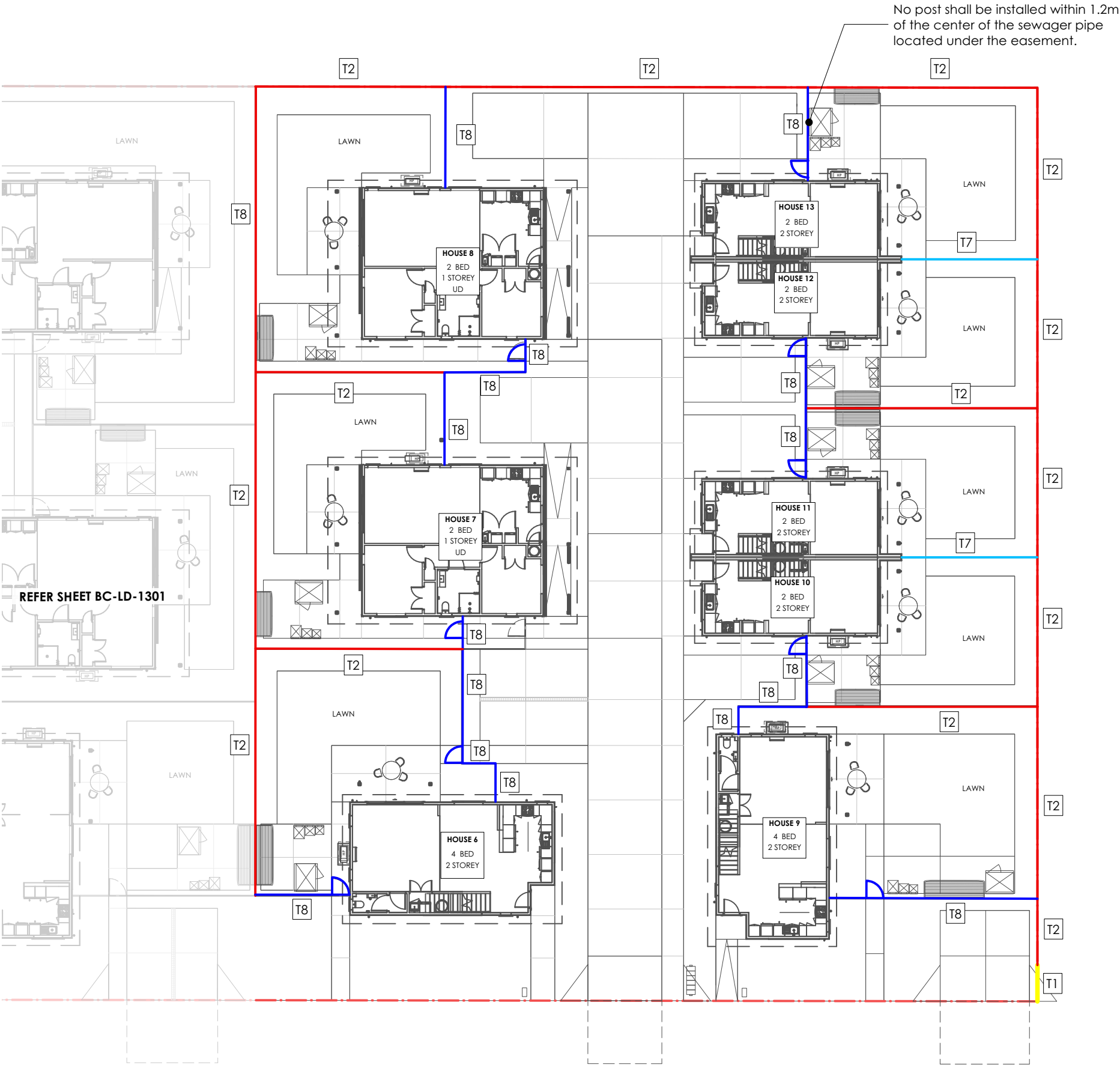
1.8m High timber paling fence \*



1.8m High timber board and batten fence. Battens on both sides \*



1.8m High timber board and batten fence with capping. Battens to face the street/JOAL\*



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FENCING PLAN

HOUSE 6 - 12

RESOURCE CONSENT

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PAGE REVISION RC-LD-1302 A

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SPECIMEN TREE & PLANTING  
PALETTE

HOUSE 1 - 5

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3. All trees shall be at least 1.5m high at the time of planting and once established must be maintained at a height of at least 3m thereafter (with the exception of any proposed fruit trees).
4. All landscaping shall be established on site within the first planting season (extending from 1 April to 30 September) following the final, passed building inspection.
5. All landscaping shall be maintained and if dead, diseased, or damaged, shall be replaced by the consent holder within the following planting season (extending from 1 April to 30 September) with trees/shrubs of similar species to the existing landscaping and capable of achieving a minimum height of 3m (with the exception of any fruit trees).
6. Specimen tree locations are indicative.

LEGEND

- Property boundary
- Proposed specimen tree
- Proposed fruit tree
- Existing tree to be removed
- Visibility splay - all fencing and planting to be max. 1.0m high in visibility splay
- Lawn

INDICATIVE SPECIMEN TREE SPECIES

Acer palmatum  
Hoheria angustifolia  
Magnolia grandiflora 'Little Gem'  
Plagianthus regius  
Pseudopanax crassifolius  
Sophora microphylla  
Gleditsia spp.  
Thuja occidentalis 'Smaragd'

INDICATIVE FRUIT TREE SPECIES

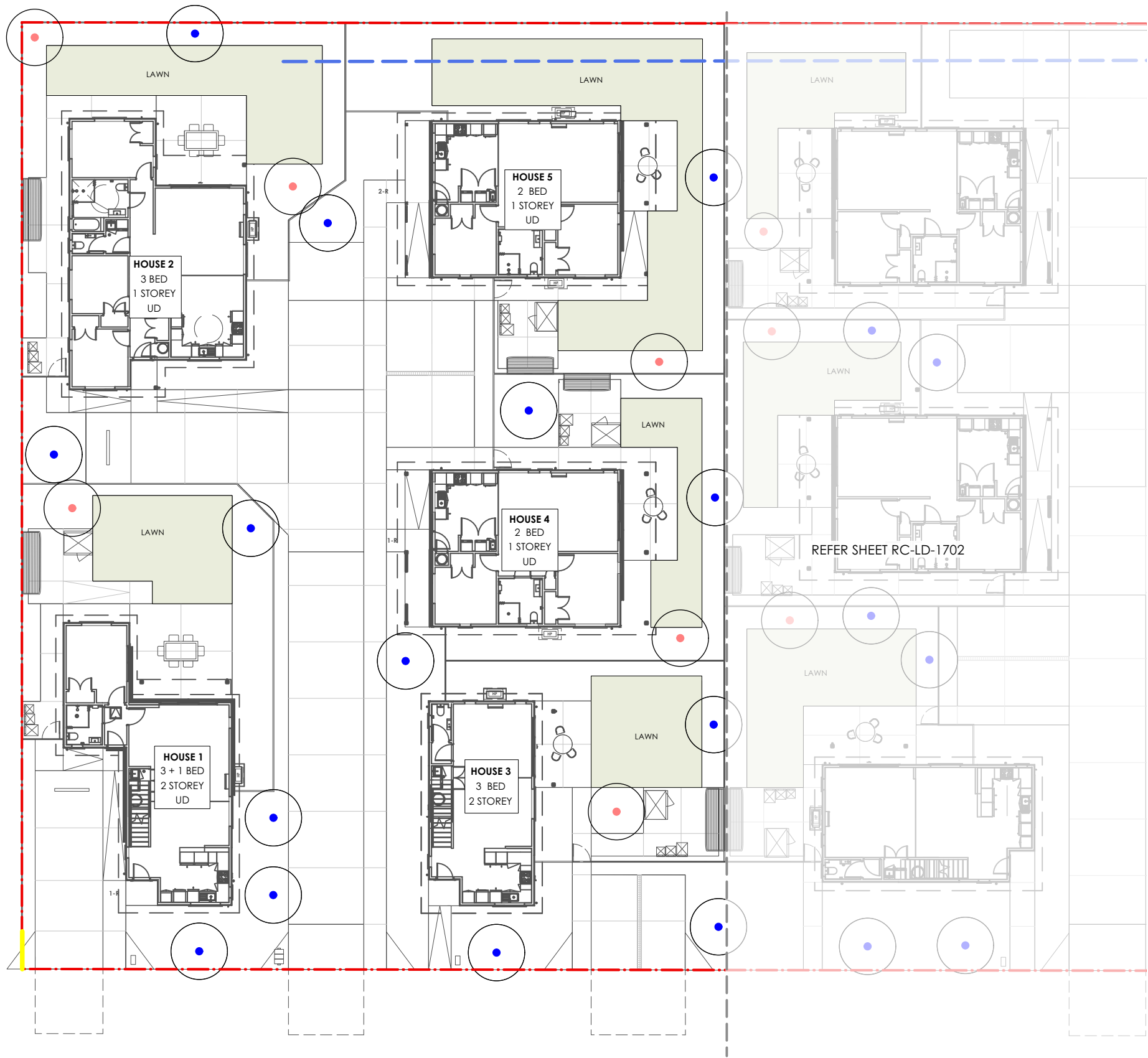
Feijoa spp.  
Citrus spp.  
Malus spp.  
Prunus spp.  
Pyrus spp.

INDICATIVE SHRUB & GROUNDCOVER SPECIES

Libertia spp.  
Muehlenbeckia spp.  
Phormium spp.  
Astelia spp.  
Carex spp.  
Dianella spp.  
Corokia spp.  
Chinochloa flavicans  
Mondo grass  
Alternanthera 'Little Ruby'  
Arthropodium spp.  
Pratia angulata  
Lomandra spp.  
Hebe spp.  
Griselinia littoralis  
Pittosporum spp.

- Planting around car parks to be low, dense and robust for visibility and to prevent vehicle access.

- Planting in visibility splay to be max. 1.0m high for vehicle visibility.



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PAGE  
REVISION A



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SPECIMEN TREE & PLANTING  
PALETTE

HOUSE 6 - 12

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Plagianthus regius  
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Sophora microphylla  
Gleditsia spp.  
Thuja occidentalis 'Smaragd'

INDICATIVE FRUIT TREE SPECIES

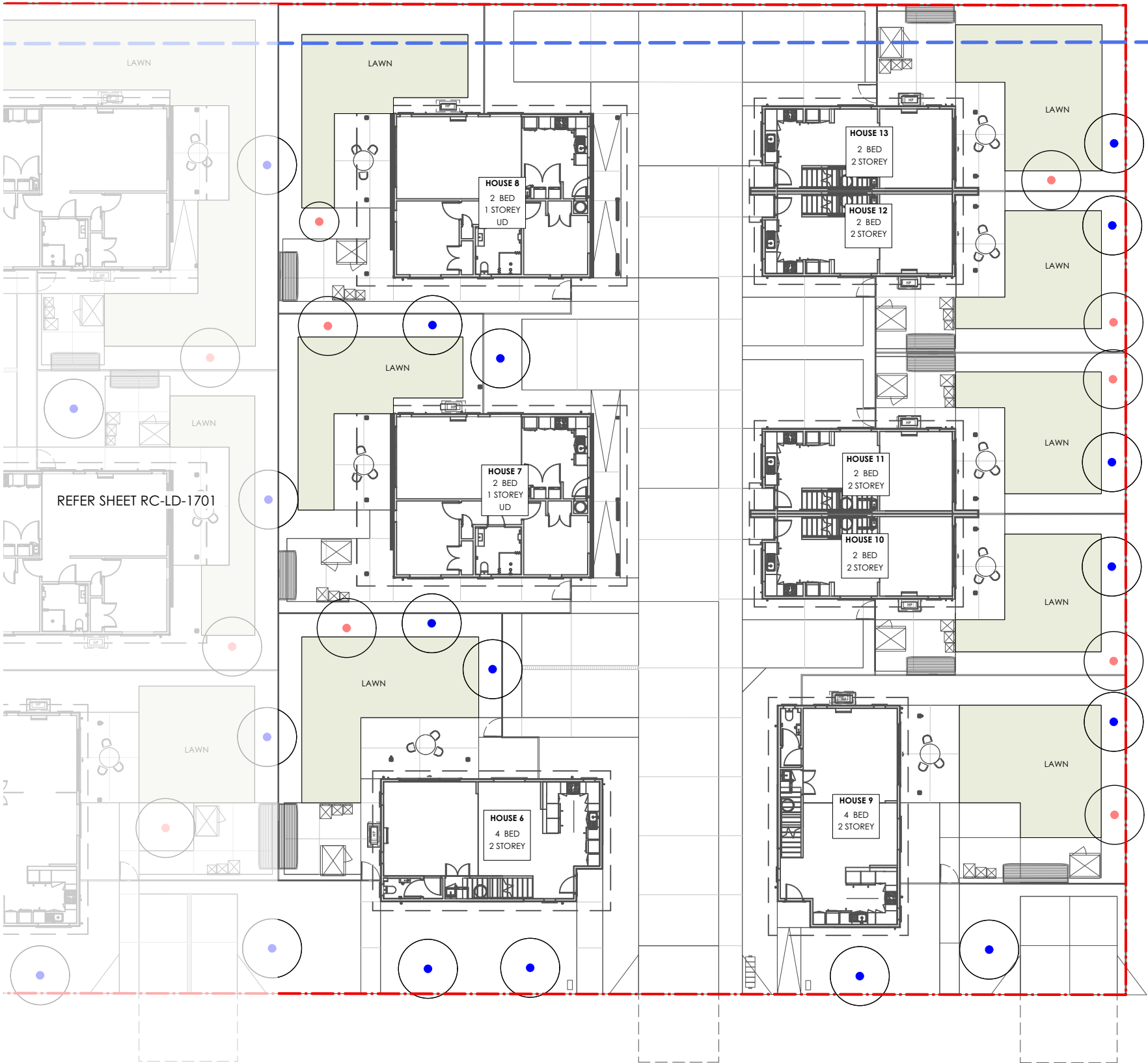
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Pittosporum spp.

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REFER SHEET RC-LD-1701

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