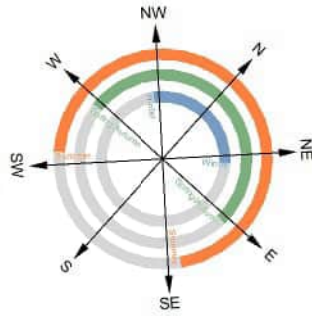
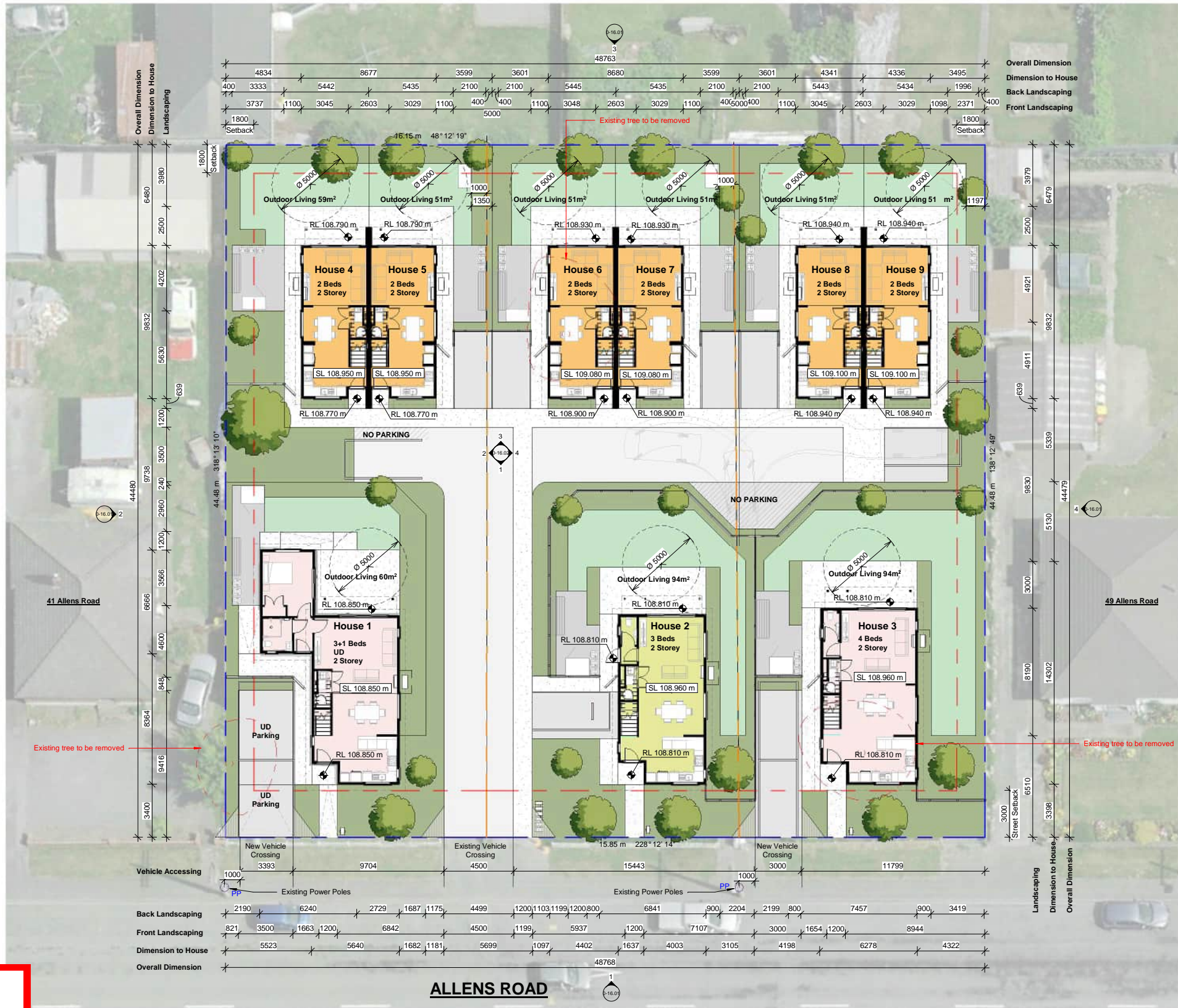


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SCALE SUMMARY

1000 @ A1	= 2000 @ A3	100 @ A1	= 200 @ A3
500 @ A1	= 1000 @ A3	50 @ A1	= 100 @ A3
250 @ A1	= 500 @ A3	25 @ A1	= 50 @ A3
200 @ A1	= 100 @ A3	10 @ A1	= 20 @ A3
150 @ A1	= 300 @ A3	5 @ A1	= 10 @ A3



LEGAL DESCRIPTION	
Address:	43-47 Allens Road, Allenton, Ashburton 7700
Lot / DP / CB	10,3,4 / 12797, 21833
ZONING INFO:	
Wind Region:	A
Earthquake Zone:	1
Exposure:	B
Wind Zone:	Medium
Planning Zone:	C
Flood Management Zone:	No
GENERAL NOTES:	
All dimensions are nominal and are to be checked on site before commencing work.	
Dimensions are showing to cladding face.	
All work to comply with the relevant section of the New Zealand Building Code.	
Location of water supply, power & phone to be confirmed.	

MASTERPLANNING LEGEND	
1 Bedroom House:	
2 Bedroom House:	
3 Bedroom House:	
4 Bedroom House:	
5 Bedroom House:	
Driveway:	
Footpath:	
Lawn Area:	
Landscaping:	
Waste & Recycle Areas:	
Refuse Bins:	
Timber Decking:	
Clotheslines (Fold out): 1.2m above FFL	
Letter Boxes:	
New Water Meters:	
Visibility play: 2m x 1.5m	

BULK & LOCATION		
Address:	43-47 Allens Road, Ashburton 7700	
Total Site Area:	2170 m ²	
	Provided	Required/Maximum
Building Coverage:		
House 1:	90.4m ²	m ²
House 2:	67.3m ²	m ²
House 3:	78.4m ²	m ²
House 4:	48.4m ²	m ²
House 5:	48.4m ²	m ²
House 6:	48.4m ²	m ²
House 7:	48.4m ²	m ²
House 8:	48.4m ²	m ²
House 9:	48.4m ²	m ²
Total:	526.2m ²	759.5m ² max (35%)
Parking:	11 bays	11 bays
Bicycle Parks:	9 (In Shed)	1 (1 per House)
Building Setback:	>1.8m	1.8m
Road Setback:	3m	3m
Building Height:	<8m	8m

Kainga Ora Typology Legend			
Unit Number	Typology	GFA	Net FA
1	H.05.01.01.UD	135m ²	127.2m ²
2	E.05.01.01	112.97m ²	106.99m ²
3	O.05.01.01	131.16m ²	124.86m ²
4&5	B.05.01.01	158.5m ² (79.3m ² each)	150.60m ² (75.3m ² each)
6&7	B.05.01.01	158.5m ² (79.3m ² each)	150.60m ² (75.3m ² each)
8&9	B.05.01.01	158.5m ² (79.3m ² each)	150.60m ² (75.3m ² each)

HANDRAILS AND RAMPS NOTES	
All external steps for FUD to have a maximum riser of 180mm and a minimum tread of 310mm with a clear width of 1200mm, and have the ability to install handrails in the future if required. All steps will require handrails where the change in level is more than 500mm high.	
Accessible ramps are to be set at a maximum slope of 1:12 with a clear width of 1200mm. Where the surface of an accessible route is more than 25mm above the adjacent ground, protection is to be provided by a 75 mm high ramp edge.	
Handrails to be 1.1m high Juralco Viking balustrade system as per specification.	

Note:
Refer to Kamo Marsh drawing set for hard and soft landscaping setup and plant species.

LINE TYPES LEGEND	
	Site Boundary
	Existing Boundary
	Setback

Approved District Planning
Consent Documents
LUC23/0035
Sheet 1 of 11
Ashburton District Council

Hierarchy Group.

Client:
Kāinga Ora
Homes and Communities



Project:
HDS - 43-47 Allens Road - AR 112275
Address: **43-47 Allens Road, Allenton, Ashburton 7700**

Revision Schedule		
Rev.	Description	Date
A	Resource Consent	03/05/23
B	RC-RFI	06/06/23
C	RC-RFI 2-ODL Area	14/06/23

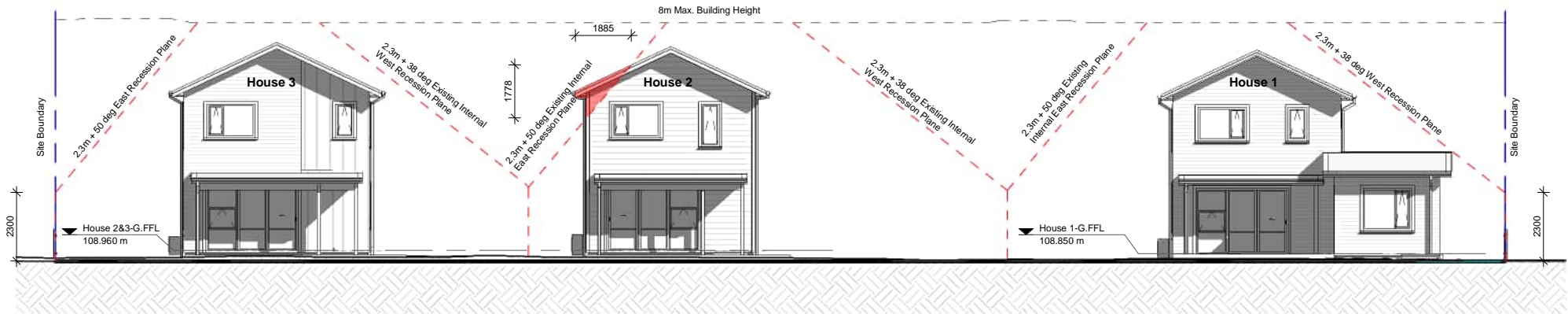
RESOURCE CONSENT	
Status:	14/06/23
Issue Date:	14/06/23
Drawn By:	KTC
Checked By:	MP
Scale:	As indicated @ A1

Sheet Name:	Bulk and Location Plan - Ground Floor	
Sheet No:	0-11.03	Rev No: C

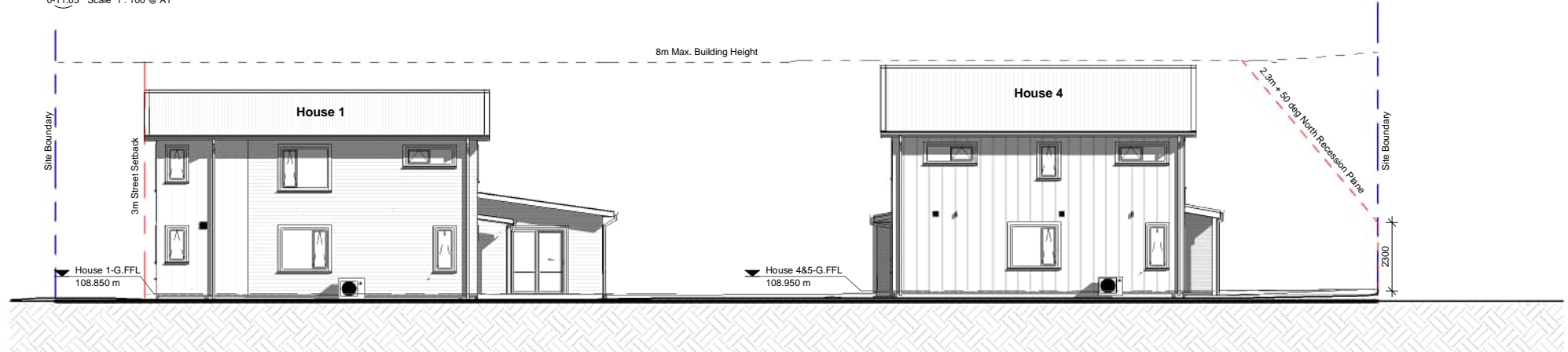
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SCALE SUMMARY

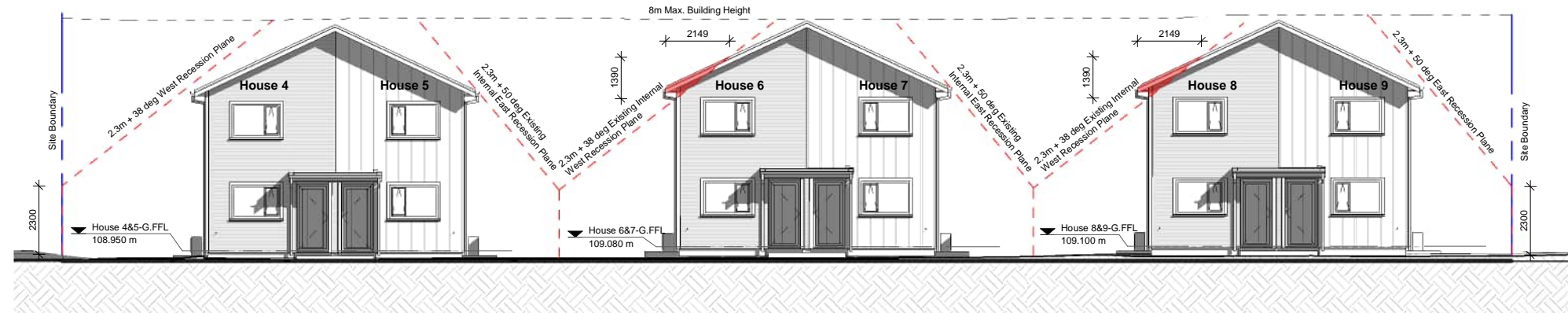
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150 @ A1	= 300 @ A3	5 @ A1	= 10 @ A3



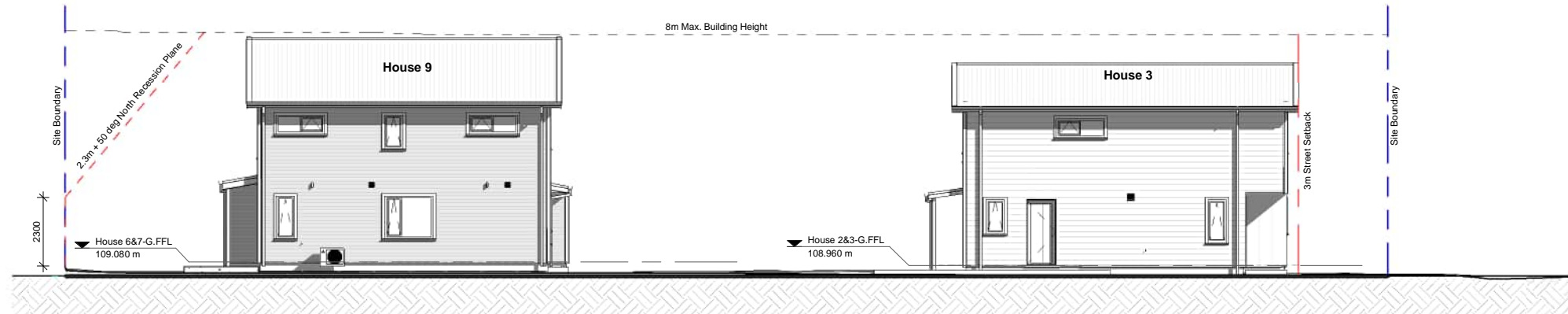
1 Internal Elevation 1
0-11.03 Scale 1:100 @ A1



2 Internal Elevation 2
0-11.03 Scale 1:100 @ A1



3 Internal Elevation 3
0-11.03 Scale 1:100 @ A1



4 Internal Elevation 4
0-11.03 Scale 1:100 @ A1

ELEVATION LEGEND		
Wall Cladding 1 Colour	Fibre Cement Weatherboard	Refer to material specifications
Wall Cladding 2 Colour	Board and Batten Cladding	Refer to material specifications
Roof Cladding Colour	Colorsteel Corrugated Roofing	Refer to material specifications

MAXIMUM HEIGHT	
Maximum Height	8.0 Meters*
*District Plan Rule: 4.9.3 - Height of Buildings	

NOTE
Clothes lines, Garden Sheds, Rubbish Bins and Vehicles are excluded from views

DECKING NOTE
All decking shall have adequate slip-resistant walking surfaces under all conditions of normal use in accordance to D1/AS1 section 2.1.1 Slip Resistance.
Deck exempt from Building Consent proprietary balustrade system as per specification

Recession Planes	
Elevation	Description
North Elevation	2.3m + 50 ° North Recession Plane
South Elevation	4.5m - Street Setback Line
East Elevation	2.3m + 50 ° East Recession Plane
West Elevation	2.3m + 38 ° West Recession Plane
Existing Internal Elevation	2.3m + 50 ° East Existing Internal Recession Plane
Existing Internal West Elevation	2.3m + 38 ° West Existing Internal - Recession Plan

ELEVATION LEGEND HOUSE 1		
Wall Cladding 1 Colour:	Weatherboard Cladding Dulux Whisper White	
Wall Cladding 2 Colour:	Board and Batten Cladding Dulux Colorsteel Slate	
Roof Cladding Colour:	Colorsteel Corrugated Roofing Dulux Mt Inaccessible	
Timber Colour:	Pergolas/Fences Intergrain Mid Oak Stain	
Aluminium Joinery Colour:	Off White Matt	

ELEVATION LEGEND HOUSE 2		
Wall Cladding 1 Colour:	Weatherboard Cladding Dulux Whisper White	
Wall Cladding 2 Colour:	Board and Batten Cladding Dulux Lichen	
Roof Cladding Colour:	Colorsteel Corrugated Roofing Dulux Mt Inaccessible	
Timber Colour:	Pergolas/Fences Intergrain Mid Oak Stain	
Aluminium Joinery Colour:	Off White Matt	

ELEVATION LEGEND HOUSE 3		
Wall Cladding 1 Colour:	Weatherboard Cladding Dulux Lichen	
Wall Cladding 2 Colour:	Board and Batten Cladding Dulux Whisper White	
Roof Cladding Colour:	Colorsteel Corrugated Roofing Dulux Mt Inaccessible	
Timber Colour:	Pergolas/Fences Intergrain Mid Oak Stain	
Aluminium Joinery Colour:	Off White Matt	

ELEVATION LEGEND HOUSE 4-9		
Wall Cladding 1 Colour:	Weatherboard Cladding Dulux Slate Mt Aspiring 1/4	
Wall Cladding 2 Colour:	Board and Batten Cladding Dulux Ohai	
Roof Cladding Colour:	Colorsteel Corrugated Roofing Dulux Mt Inaccessible	
Timber Colour:	Pergolas/Fences Intergrain Mid Oak Stain	
Aluminium Joinery Colour:	Off White Matt	

Approved District Planning
Consent Documents
LUC23/0035
Sheet 2 of 11
Ashburton District Council

Hierarchy
Group.

Client:
 **Kāinga Ora**
Homes and Communities

Project:
HDS - 43-47 Allens Road - AR 112275
No:
H1259-047
Address:
**43-47 Allens Road,
Allenton,
Ashburton 7700**

Revision Schedule		
Rev.	Description	Date
A	Resource Consent	03/05/23
B	RC-RFI	06/06/23

RESOURCE CONSENT	
Status:	Issue Date: 06/06/23
Drawn By: KTC	Checked By: MP
Scale: As indicated @ A1	

Sheet Name: General Arangement Elevations	Sheet No: 0-16.02	Rev No: B
---	-----------------------------	---------------------

LANDSCAPE AREA

Landscape (including lawn, garden bed / shrubs & specimen trees)	844m ² (38.9%)
Lawn only (34.1% of total landscape area)	288m ²
Trees and shrubs only (65.9% of total landscape area)	556m ²

Patio exposed aggregate with black oxide additive and saw cuts as shown

Austral 'Compact' fold down washing line (or similar approved)

Medium Garden Master Shed/bike storage (1530W x 1080D x 1830Hmm), 'Grey Friars' colour

Allow to paint unit number onto allocated concrete carpark area. To be painted with slip resistant paint and applied by an approved line marking company. Confirm number size and placement with Kāinga Ora on site.

Soak pit area. Details refer to Civil documentation.

Large Garden Master Shed/bike (1530W x 1830D x 1930Hmm), 'Grey Friars' colour

Austral 'Compact 39' fold down washing line (or similar approved).

Driveway to be insitu standard concrete with broom finish and saw cuts as shown (refer to civil documentation for depth and construction details).

Suburban Timber Wheelstop (ex. Street Furniture).

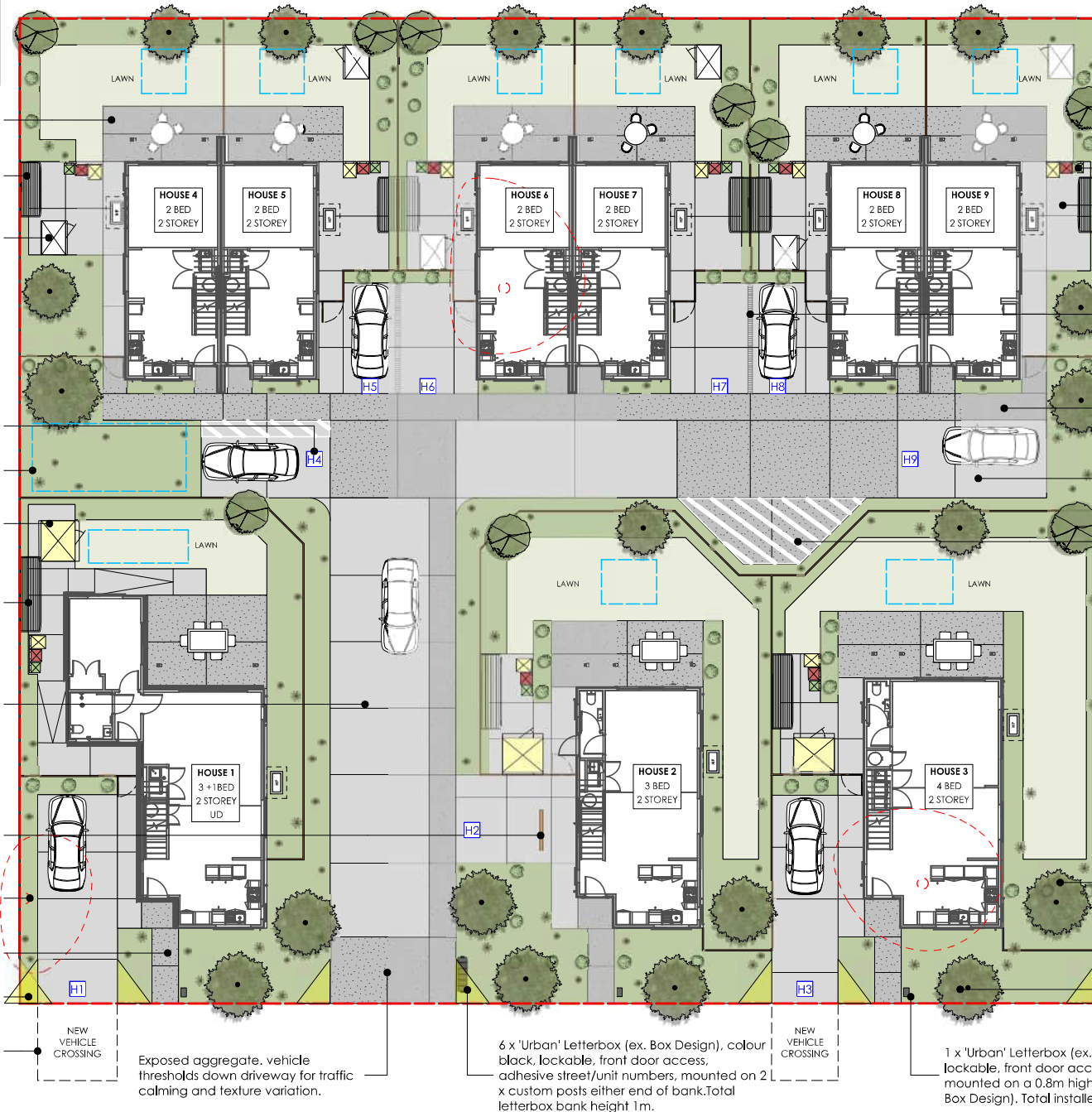
Existing trees to be removed (red dashed line)

1.2m Path exposed aggregate with black oxide additive and decorative saw cuts as shown

Visibility splay, all fencing and planting to be max. 1.0m high in visibility splay.

Refer to Architectural and Civil documentation for new vehicle crossing extent.

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Consent Documents
LUC23/0035
Sheet 3 of 11
Ashburton District Council



Exposed aggregate, vehicle thresholds down driveway for traffic calming and texture variation.

6 x 'Urban' Letterbox (ex. Box Design), colour black, lockable, front door access, adhesive street/unit numbers, mounted on 2 x custom posts either end of bank. Total letterbox bank height 1m.

1 x 'Urban' Letterbox (ex. Box Design), colour black, lockable, front door access, adhesive street/unit numbers, mounted on a 0.8m high 'Letterbox Pole', colour black (ex. Box Design). Total installed letterbox height 1m.

Bin storage area
Service court insitu standard concrete broom finish, saw cuts as shown.

200L x 100W Precast concrete paver band (ex. Firth Holland 80°, colour black sands) to separate paths between units

Path exposed aggregate with black oxide additive saw cuts as shown

Carpark to be insitu standard concrete broom finish and saw cuts as shown (refer to civil documentation)

Lines + 'No Parking' to be applied to the concrete finish for no parking purposes. To be painted with slip resistant paint and will be applied by an approved line marking company.

Refer to 'Fencing Masterplan' for all fencing types.

Proposed specimen tree

43 - 47 ALLENS RD

ADDRESS
43 - 47 Allens Road, Allenton
Ashburton, 7700



LANDSCAPE MASTERPLAN

SITE WIDE

RESOURCE CONSENT

NOTES

1. Confirm set out of all dimensions on site prior to commencing work.
2. Do not scale off drawings.
3. All plans to be read in conjunction with Hierarchy Group Architecture Plan Set and Beca Engineer Plan Set.
4. Levels shown for reference only. Refer to Beca Engineer Plan Set.

LEGEND

- Property boundary
- Existing tree to be removed
- Proposed specimen tree
- Proposed fruit tree
- Proposed screening species
- Proposed garden bed
- Lawn
- Soak pit area (by Civil)
- Standard concrete, broom finish (US), decorative saw cuts as shown
- Exposed aggregate concrete with black oxide additive (8kg/m³), decorative saw cuts as shown
- Austral 'Compact 39' fold down washing line (or similar approved)
- Austral 'Compact' fold down washing line (or similar approved)
- Large Garden Master shed (1530W x 1830D x 1930Hmm), 'Grey Friars' colour
- Small Garden Master shed (1530W x 1080D x 1830Hmm), 'Grey Friars' colour
- Bin storage area (indicative)
- Heat pump unit on concrete pad (by Architects), clearance areas shown dashed
- Single letterbox on post
- Letterboxes bank
- Visibility splay - all fencing and planting to be max. 1.0m high in visibility splay
- Gate access - 0.95m wide with low latch and self closing hinges, gate to match adjacent fencing
- Suburban Timber Wheelstop (ex. Street Furniture)
- Ramp location (by Architects)

REV	DATE	BY	ISSUE
A	03.05.23	SW	RESOURCE CONSENT

Kamo Marsh

10 Unit Building, 48 Newland St, PO Box 2833, Christchurch 8140
Mountaineer Building, 32 Rees St, Queenstown 9300

T: 03 3668 181
E: admin@kamo-marsh.co.nz
W: kamo-marsh.co.nz

Design SW
Drawn SW
Check AP
Date 03.05.23
Scale 1:200@A3

REF. NO. 5252_V_45
PAGE REVISION A
RC-LD-1001

ALLENS ROAD

FENCING MASTERPLAN

SITE WIDE

RESOURCE CONSENT

NOTES

1. Confirm set out of all dimensions on site prior to commencing work.
2. Do not scale off drawings.
3. All gates to match adjacent fencing type, unless specified otherwise.
4. All gates for standard housing units to be 0.95m wide.
5. All gates for FUD and accessible units to have a low latch and self-closing hinges.
6. *Allow to stain all exposed visible surface of timber paling fencing facing the street/JOAL or as indicated on fencing plan. Apply 2 coats charcoal timber stain, colour Resene 'Shadow Match' or similar approved by Landscape Architect.
7. Prior to excavating fencing post holes, confirm on site there are no clashes with underground services. Notify the Landscape Architect if any clashes are likely to occur.
8. A 3 months Defects Liability Period shall be included for all Hard Landscaping.

REV	DATE	BY	ISSUE
A	03.05.23	SW	RESOURCE CONSENT



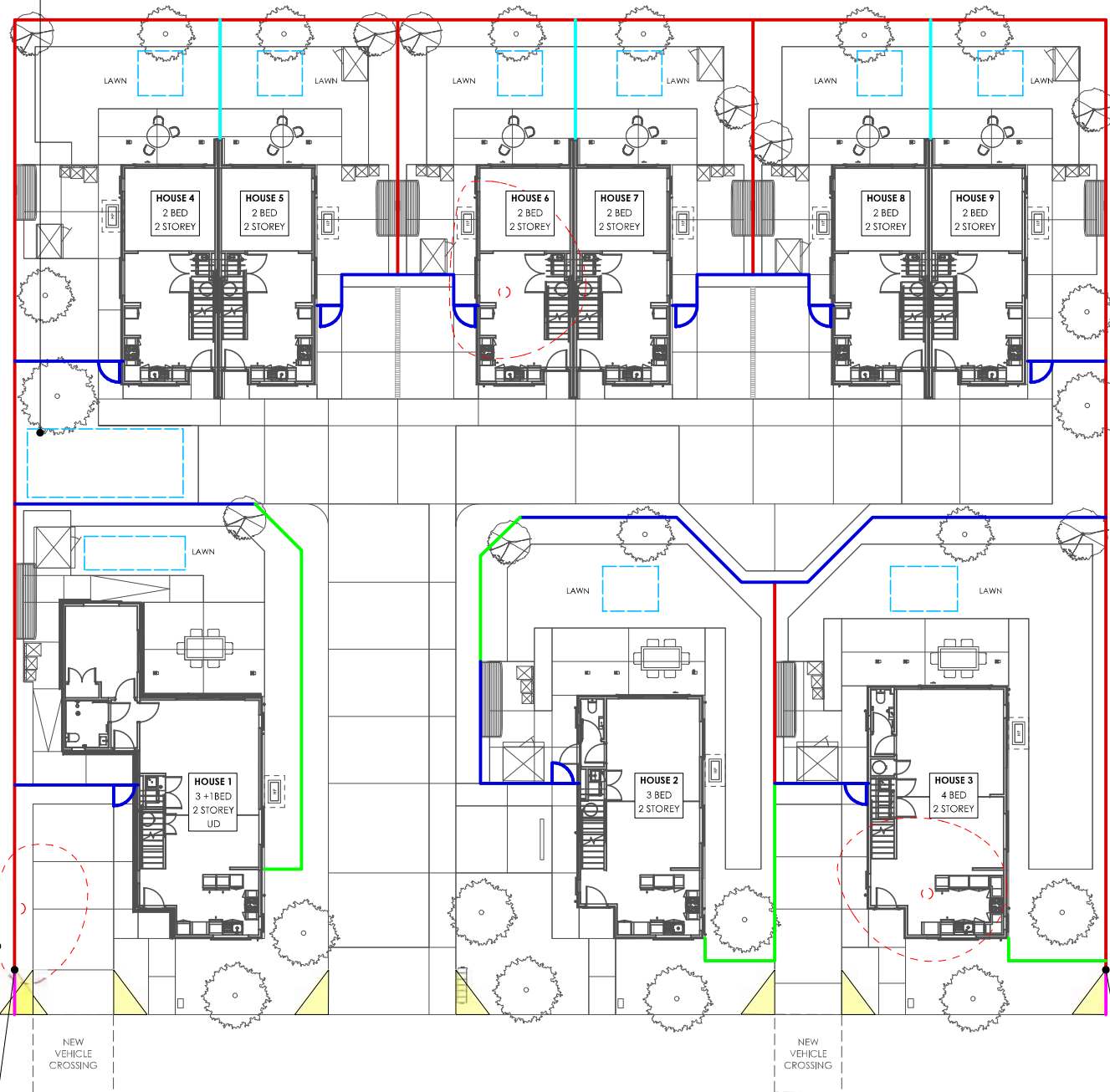
1st Unit Building, 48 Havelock St, PO Box 2833, Christchurch 81 40
Mountaineer Building, 32 Rees St, Queenstown 9300

T: 03 3668 181
E: admin@kamo-marsh.co.nz
W: kamo-marsh.co.nz

Design SW
Drawn SW
Check AP
Date 03.05.23
Scale 1:200@A3

REF. NO. 5252_V_45
PAGE REVISION A
RC-LD-1300

Soak pit area. Details refer to Civil documentation.



ALLENS ROAD

Boundary fence to taper down from 1.8 - 1.0m.
Allow for 2m section of 1.0m high fencing within
vehicle visibility splay.

Existing trees to be removed (red dashed line)

Boundary fence to taper down from 1.8 - 1.0m.
Allow for 2m section of 1.0m high fencing within
vehicle visibility splay.



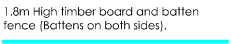
1.0 - 1.8m High timber paling driveway
visibility fence. 1m length panel to
extend atleast 2m in length. Confirm
on site. *



1.8m High timber paling fence *



1.8m High timber board and batten fence. Battens
to face the street/JOAL/Northern Property*



1.8m High timber board and batten
fence (Battens on both sides).



1.8m High timber board and batten
fence (0.3m permeable top). Battens to
face the street/JOAL*

SPECIMEN TREE & PLANTING
PALETTE

SITE WIDE

RESOURCE CONSENT

NOTES

1. Confirm set out of all dimensions on site prior to commencing work. Do not scale off drawings.
2. All plans to be read in conjunction with Hierarchy Group Architecture Plan Set and Becca Engineer Plan Set.
3. All trees shall be at least 1.5m high at the time of planting and once established must be maintained at a height of at least 3m thereafter (with the exception of any proposed fruit trees).
4. All landscaping shall be established on site within the first planting season (extending from 1 April to 30 September) following the final, passed building inspection.
5. All landscaping shall be maintained and if dead, diseased, or damaged, shall be replaced by the consent holder within the following planting season (extending from 1 April to 30 September) with trees/shrubs of similar species to the existing landscaping and capable of achieving a minimum height of 3m (with the exception of any fruit trees).
6. Specimen tree locations are indicative.

LEGEND

- Property boundary
- Proposed specimen tree
- Proposed fruit tree
- Existing tree to be removed
- Soak pit area (by Civil)
- Visibility splay - all fencing and planting to be max. 1.0m high in visibility splay

INDICATIVE SPECIMEN TREE SPECIES

Acer palmatum
 Hoheria angustifolia
 Magnolia grandiflora 'Little Gem'
 Platanus regius
 Pseudopanax crassifolius
 Sophora microphylla

INDICATIVE FRUIT TREE SPECIES

Feijoa spp.
 Citrus spp.
 Malus spp.
 Prunus spp.
 Pyrus spp.

INDICATIVE SHRUB & GROUND COVER SPECIES

Libertia spp.
 Muehlenbeckia spp.
 Phormium spp.
 Astelia spp.
 Carex spp.
 Dianella spp.
 Corakia spp.
 Chionochloa flavicans
 Mondo grass
 Alternanthera 'Little Ruby'
 Arthropodium spp.
 Pratia angulata
 Lomandra spp.
 Hebe spp.
 Griselinia littoralis
 Pittosporum spp.

- Planting around car parks to be low, dense and robust for visibility and to prevent vehicle access.

- Planting in visibility splay to be max. 1.0m high for vehicle visibility.

REV	DATE	BY	ISSUE
A	03.05.23	SW	RESOURCE CONSENT



1st Unit Building, 48 Havelock St, PO Box 2833, Christchurch 8140
 Mountaineer Building, 32 Rees St, Queenstown 9300

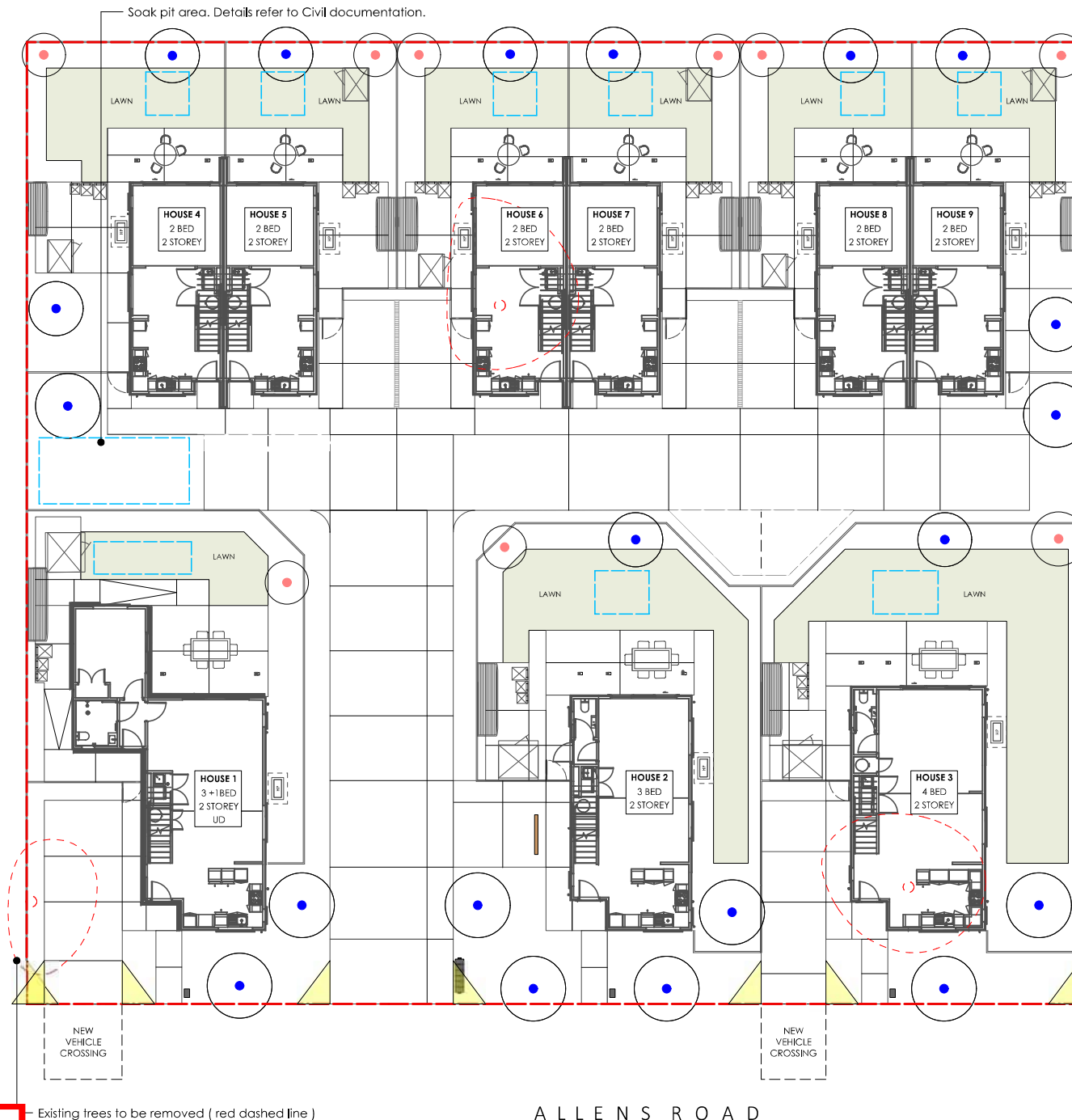
T: 03 3668 181
 E: admin@kamo-marsh.co.nz
 W: kamo-marsh.co.nz

Design SW
 Drawn SW
 Check AP

Date 03.05.23
 Scale 1:200@A3

REF. NO.
 5252_V_45

PAGE
 REVISION A



HDS - 43-47 Allens Road - AR 112275

43-47 Allens Road,
Allenton,
Ashburton T700

General Arrangement Sheet List	
No.	Name
0-00.00	Cover Sheet
0-11.01	Existing Site Plan
0-11.02	Automotive View
0-11.03	Site and Location Plan - Ground Floor
0-11.04	Site and Location Plan - First Floor
0-16.01	General Arrangement Elevations
0-16.02	General Arrangement Elevations



Status: **RESOURCE CONSENT**

Hierarchy Group.

Issue Date: 03/05/23
Drawn By: KTC Checked By: MP
Scale: @ A1 Project No: H1259-047
Sheet Name: Cover Sheet

Sheet No: 0-00.00 Rev No: A

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SCALE SUMMARY			
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200 @ A1	= 400 @ A3	10 @ A1	= 20 @ A3
150 @ A1	= 300 @ A3	5 @ A1	= 10 @ A3

SCALE SUMMARY			
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200 @ A1	= 100 @ A3	10 @ A1	= 20 @ A3
150 @ A1	= 300 @ A3	5 @ A1	= 10 @ A3

SCALE SUMMARY			
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200 @ A1	= 100 @ A3	10 @ A1	= 20 @ A3
150 @ A1	= 300 @ A3	5 @ A1	= 10 @ A3

2.3m + 50 ° East Recession
Plane. East Elevation

4.5m - Street Setback Line.
South Elevation

2.3m + 50 ° North Recession
Plane. North Elevation

2.3m + 38 ° West Recession
Plane. West Elevation

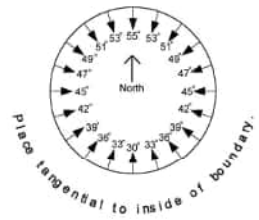
Approved District Planning
Consent Documents
LUC23/0035
Sheet 7 of 11
Ashburton District Council

Recession Planes	
Elevation	Description
South Elevation	4.5m - Street Setback Line
East Elevation	2.3m + 50° East Recession Plane
North Elevation	2.3m + 50° North Recession Plane
West Elevation	2.3m + 38° West Recession Plane

COMPLIANCE WITH RECEPTION PLACES	
House 1	Yes - 3m Street Setback
House 2	Yes
House 3	Yes
House 4&5	Yes
House 6&7	Yes
House 8&9	Yes

Recession Planes	
Elevation	Description
South Elevation	4.5m - Street Setback Line
East Elevation	2.3m + 50° East Recession Plane
North Elevation	2.3m + 50° North Recession Plane
West Elevation	2.3m + 38° West Recession Plane

COMPLIANCE WITH RECEPTION PLACES	
House 1	Yes - 3m Street Setback
House 2	Yes
House 3	Yes
House 4&5	Yes
House 6&7	Yes
House 8&9	Yes

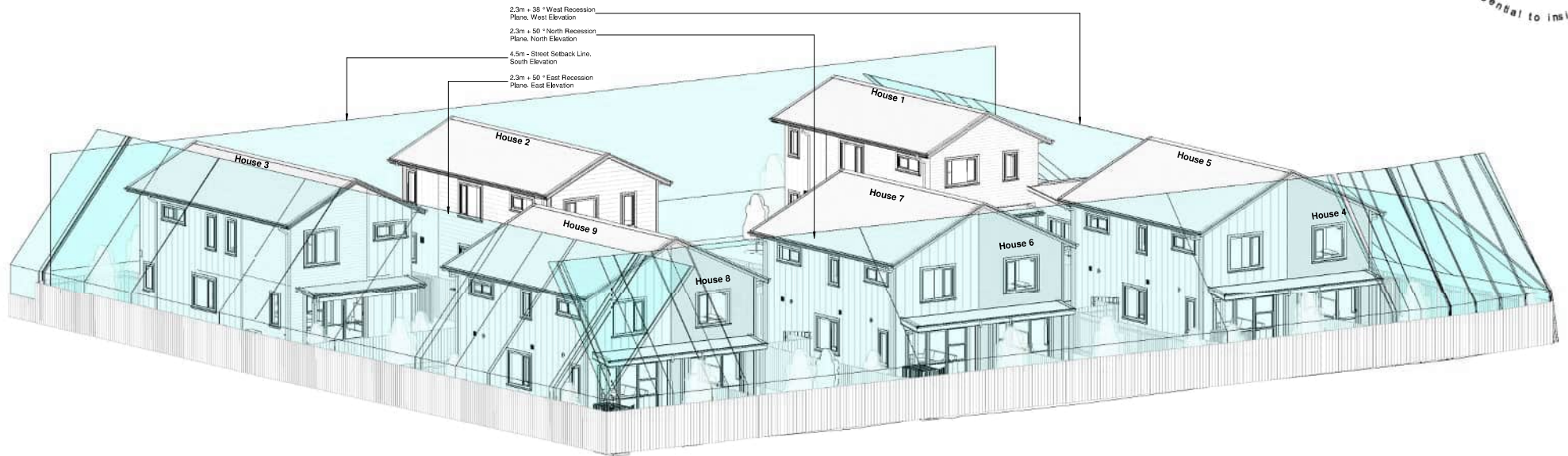


2.3m + 38 ° West Recession
Plane. West Elevation

2.3m + 50 ° North Recession
Plane. North Elevation

4.5m - Street Setback Line.
South Elevation

2.3m + 50 ° East Recession
Plane. East Elevation



2 **Axometric View 2**
Scale @ A1

Hierarchy Group.

Client:  **Kāinga Ora**
Homes and Communities

Project:	No:
HDS - 43-47 Allens Road - AR 112275	H1259-047
Address:	
43-47 Allens Road, Allenton, Ashburton 7700	

Revision Schedule		
Rev.	Description	Date
A	Resource Consent	03/05/2015

Status:	RESOURCE CONSENT
Issue Date:	03/05/23
Drawn By:	KTC
Checked By:	MP
Scale:	1 : 100 @ A1

Sheet Name:
Axonometric View

Sheet No: 0-11.02 | Rev No: A

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200 @ A1	= 100 @ A3	10 @ A1	= 20 @ A3
150 @ A1	= 300 @ A3	5 @ A1	= 10 @ A3



Approved District Planning
Consent Documents
LUC23/0035
Sheet 8 of 11
Ashburton District Council

LEGAL DESCRIPTION

Address: 43-47 Allens Road, Allenton,
Ashburton 7700
Lot / DP / CB 10.3.4 / 12797,
21833

ZONING INFO:

Wind Region:	A
Earthquake Zone:	1
Exposure:	B
Wind Zone:	Medium
Planning Zone:	C
Flood Management Zone:	No

GENERAL NOTES:

All dimensions are nominal and are to be checked on site before commencing work.

Dimensions are showing to cladding face.

All work to comply with the relevant section of the New Zealand Building Code.

Location of water supply, power & phone to be confirmed.

MASTERPLANNING LEGEND

1 Bedroom House:	
2 Bedroom House:	
3 Bedroom House:	
4 Bedroom House:	
5 Bedroom House:	
Driveway:	
Footpath:	
Lawn Area:	
Landscaping:	
Waste & Recycle Areas:	
Refuse Bins:	
Timber Decking:	
Clotheslines (Fold out): 1.2m above FFL	
Letter Boxes:	
New Water Meters:	
Visibility splay: 2m x 1.5m	

BULK & LOCATION

Address: 43-47 Allens Road, Ashburton 7700

Total Site Area: 2170 m²

	Provided	Required/Maximum
Building Coverage:		
House 1:	50.4m ²	m ²
House 2:	57.3m ²	m ²
House 3:	78.4m ²	m ²
House 4:	48.4m ²	m ²
House 5:	48.4m ²	m ²
House 6:	48.4m ²	m ²
House 7:	48.4m ²	m ²
House 8:	48.4m ²	m ²
House 9:	48.4m ²	m ²
Total:	526.2m ²	759.5m ² max (35%)
Parking:	11 bays	11 bays
Bicycle Parks:	9 (in Shed)	1 (1 per House)
Building Setback:	>1.8m	1.8m
Road Setback:	3m	3m
Building Height:	<8m	8m

Kainga Ora Typology Legend

Unit Number	Typology	GFA	Net FA
1	H.05.01.01.FUD	139m ²	127.2m ²
2	E.05.01.01	112.97m ²	106.99m ²
3	O.05.11.01	131.16m ²	124.86m ²
4&5	B.05.01.01	158.5m ²	150.60m ²
6&7	B.05.01.01	158.5m ²	150.60m ²
8&9	B.05.01.01	158.5m ²	150.60m ²

Note:
Refer to Kamo Marsh drawing set for hard and soft landscaping setout and plant species.

Hierarchy Group.

Client:
Kāinga Ora
Homes and Communities



Project:
HDS - 43-47 Allens Road - AR 112275
Address:
**43-47 Allens Road,
Allenton,
Ashburton 7700**

No:
H1259-047

Revision Schedule

Rev.	Description	Date
A	Resource Consent	03/05/23

Status: **RESOURCE CONSENT**

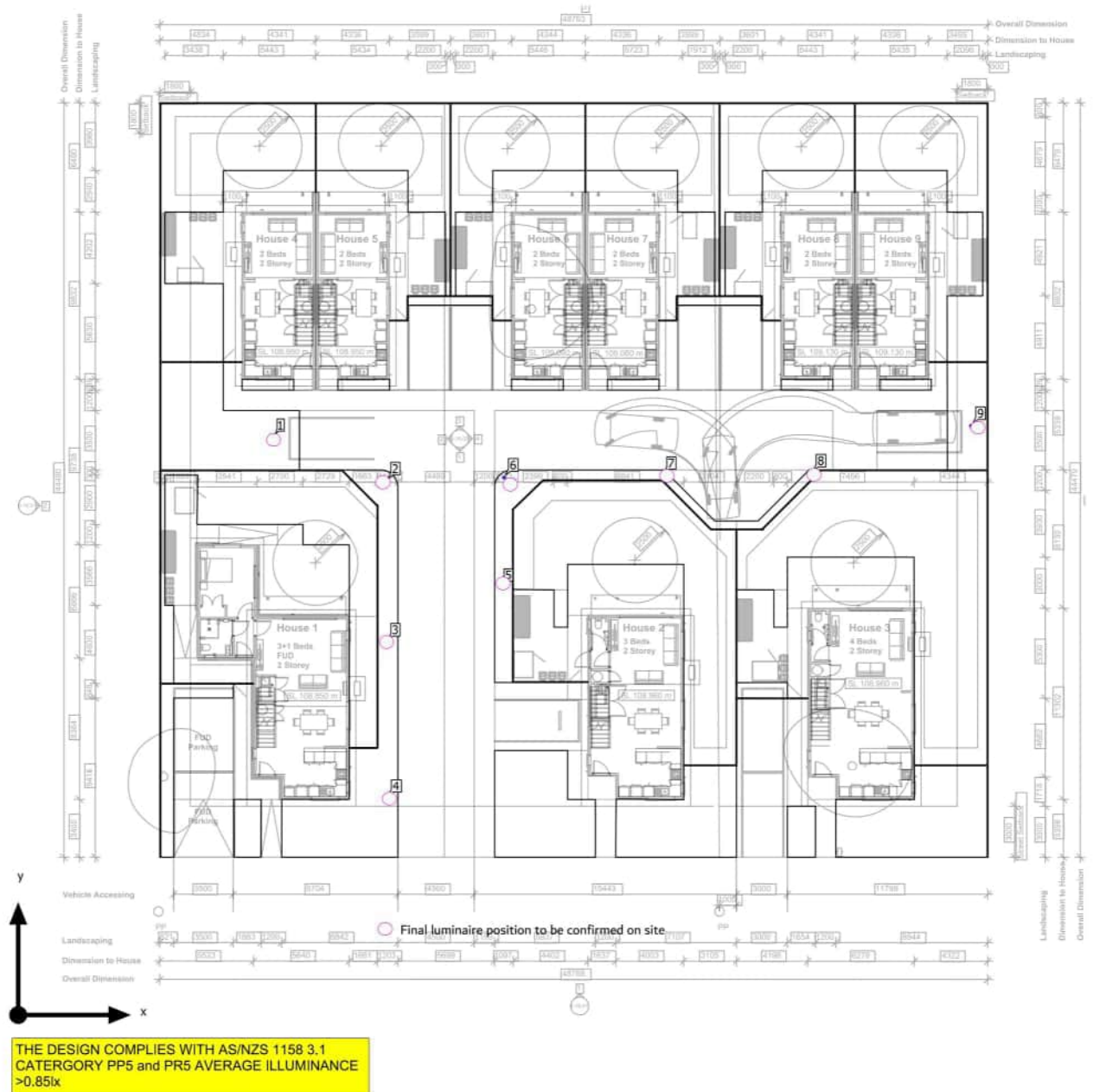
Issue Date:	03/05/23
Drawn By:	KTC
Checked By:	MP
Scale:	As indicated @ A1

Sheet Name:
Bulk and Location Plan - First Floor

Sheet No:	0-11.04	Rev No:	A
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Site 1

Luminaire layout plan



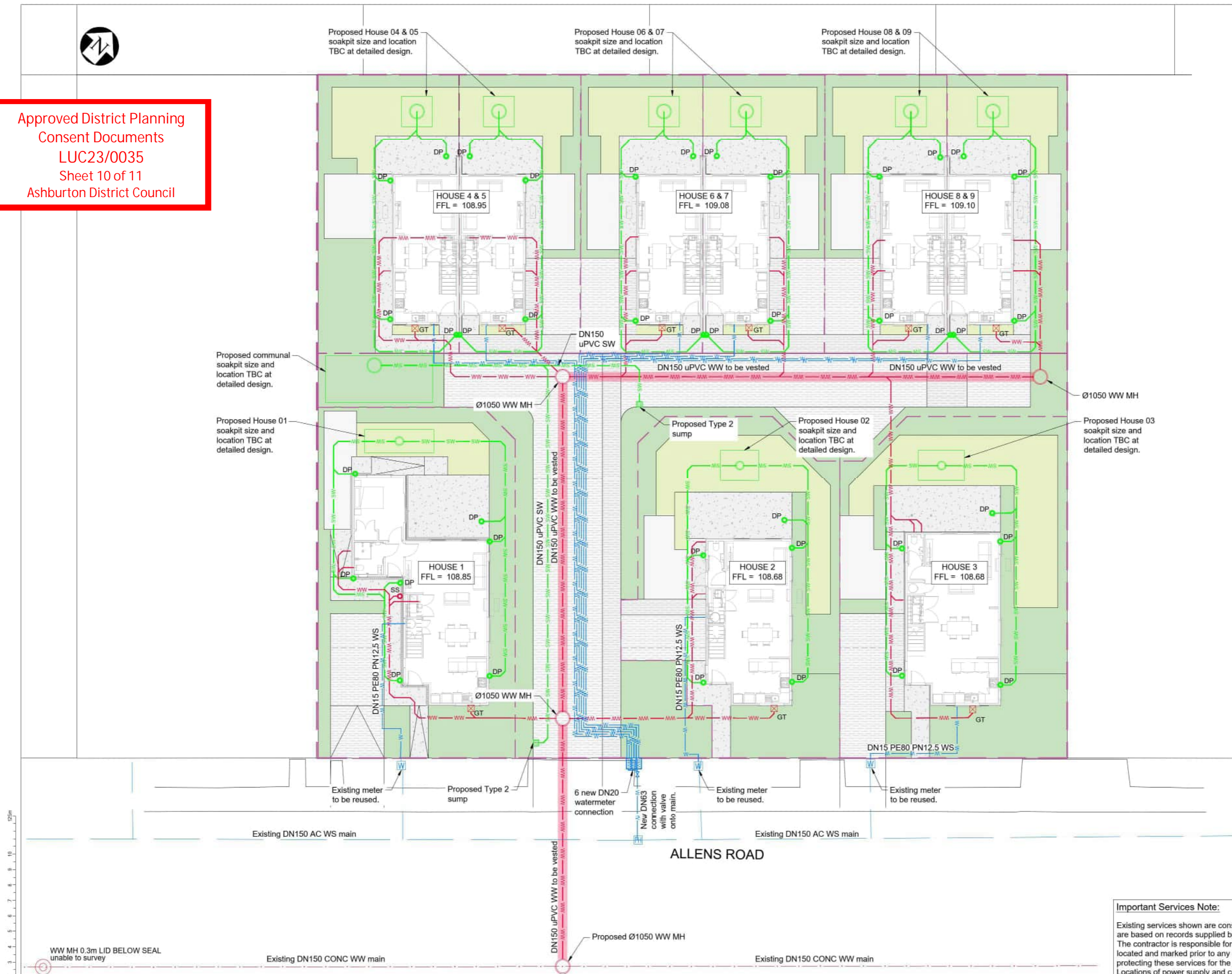


Approved District Planning
Consent Documents
LUC23/0035
Sheet 10 of 11
Ashburton District Council

Notes:

1. Refer to drawing CV-002 for General Civil Notes.
2. For DN100 uPVC pipes within the boundary use SN6, for DN150 uPVC pipes within the boundary use SN8. When in road reserve use SN16.
3. Drainage contractor is to confirm the condition of all existing stormwater and wastewater laterals prior making to making connections. If not in suitable condition council to be contacted for replacement/repair. The public wastewater lateral may only be repaired by a Council Authorized Drainlayer.
4. Stormwater- DN100 uPVC SW@1:100 unless noted otherwise.
5. Wastewater- DN100 uPVC WW@1:60 unless noted otherwise.
6. Water-DN20 PE80 PN12.5 WS unless noted otherwise.
7. The first 1m of sealed surfacing next to a threshold drain must fall away from the threshold drain at 1 in 40 grade.
8. Invert levels of existing pipes that proposed stormwater & wastewater systems are connecting to must be excavated and confirmed at the start of construction.

LEGEND	
Existing	
	Sewer
	Water
	Stormwater
	U/G power
	O/H power
	High voltage
	Telecommunication
	Fibre optic
	Existing power pole/lighting pole
	Existing water meter
Proposed	
	Waste Water
	Water
	Stormwater
	Property Boundary
	Gully trap
	Sewer stack
	Down pipe
	WW / SW rodding point
	Proprietary Inline sump
	Water meter
	WW / SW Manhole
	Sump. Refer to drawing for type
	Strip Drain
	Water supply pipe to be vested back to council
	Water/Water pipe to be vested back to council



Important Services Note:

Existing services shown are considered indicative and are based on records supplied by the service authorities. The contractor is responsible for ensuring all services are located and marked prior to any site works, and for protecting these services for the duration of the contract. Locations of power supply and communications including connection locations are indicative only. Contractor to confirm appropriate services layout with utility providers and ensure minimum separation distances are observed for shared trenching with 3 waters services

RESOURCE CONSENT
NOT FOR CONSTRUCTION

ORIGINAL DRAWING
IN COLOUR

No.	Revision	By	Chk	Appd	Date
A	ISSUED FOR RESOURCE CONSENT	CB	DJ	PH	04.05.23

Original Scale (A1)	1:125
Design	C. Bridi 27.09.2023
Drawn	R. Sharma 28.04.2023
Design Checker	D. Johnstone 27.04.2023
Scale (A3)	1:250
Design Checker	C. Bridi 28.04.2023



Project: 43-47 ALLENS ROAD
ALLENTON
ASHBURTON

Title: SERVICES PLAN

Discipline	CIVIL	Beca Project No.	3160491
Drawing No.	AR112275-CV-111	Rev.	A

1. Refer to drawing CV-002 for general civil notes.
2. Cut/fill of the foundation is considered, but not shown on the plan.
3. Spot heights represent finished ground levels

Volumes : Cut \ Fill		
	Whole Site	
	Cut (m³)	Fill (m³)
Stage 1 -From existing to site scrape	684	0
Stage 2 - From site scrape to subgrade	17	195
Stage 3 - From subgrade to finished	0	748
Total	701	943

- Extent of reinforced gravel raft. Typical
- House foundation Typical

EARTHWORKS PLAN OVERALL EXISTING TO FINAL



RESOURCE CONSENT
NOT FOR CONSTRUCTION

ORIGINAL DRAWING
IN COLOUR

Discipline CIVIL	Reqs Project No. 3160491
Drawing No. AR112275-CV-131	Rev. A